

# 2019 ROOF IMPROVEMENTS

## RAYTOWN SCHOOL DISTRICT

### 6608 Raytown Road, Raytown, MO 64133

SHEET KEYNOTE LEGEND

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Hollis + Miller Architects  
 Missouri State Certificate of Authority  
 Architecture # 00000181  
 Structure # 200601333

hollis + miller architects  
 miller

## CONSTRUCTION DOCUMENTS

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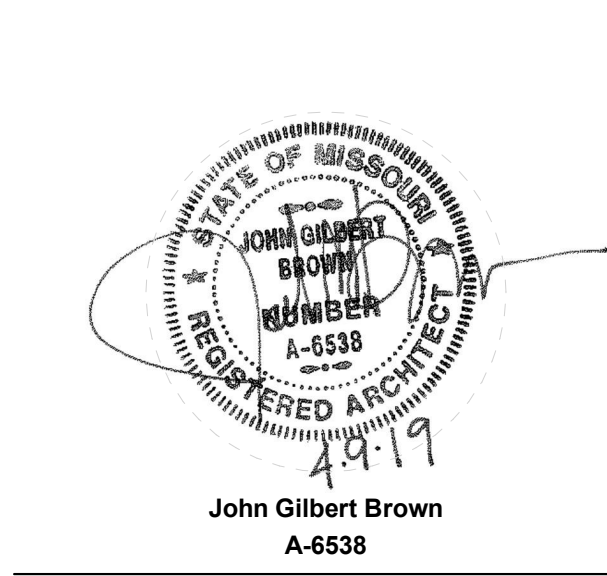
### DESIGN TEAM

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RAYTOWN SD 2019 ROOF IMPROVEMENTS  
 RAYTOWN SCHOOL DISTRICT  
 6608 Raytown Road, Raytown, MO 64133  
 100% CONSTRUCTION DOCUMENTS

REVISIONS:

#	Description	Date



JOB NO: 18110.00  
 DRAWN BY: SC  
 CHECKED BY: JD  
 DATE: 04.09.2019

**G000**

COVER SHEET

### PROJECT LOCATIONS

- BLUE RIDGE ELEMENTARY SCHOOL**  
 6410 Blue Ridge Blvd, Raytown, MO 64133
- NEW TRAILS PRE-SCHOOL**  
 6325 Hunter St, Raytown, MO 64133
- FLEETRIDGE ELEMENTARY SCHOOL**  
 13001 E 55 St, Kansas City, MO 64133
- NORFLEET ELEMENTARY SCHOOL**  
 6410 S Norfleet Rd, Raytown, MO 64133
- RAYTOWN SOUTH HIGH SCHOOL**  
 8211 Sterling Ave, Raytown, MO 64138
- RAYTOWN SOUTH MIDDLE SCHOOL**  
 8401 E 83 St, Raytown, MO 64138
- THREE TRAILS PRE-SCHOOL**  
 8812 E Gregory Blvd, Raytown, MO 64133

SAME LOCATION

4/11/2019 11:54:51 PM

## SYMBOL LEGEND

	BRICK (in section)	Classroom A101	RM NAME RM NUMBER
	CONCRETE MASONRY UNIT - CMU (in section)	A123	DOOR NUMBER
	CONCRETE (in section)		WALL TYPE
	GYP BD (in section)		FRAME TYPE
	PLYWOOD (in section)		GLASS TYPE
	RIGID INSUL & EIFS (in section)		SECTION CUT LINE
	BATT INSUL (in section)		ELEVATION SYMBOL
	ACOUSTICAL TILE (in section)		ELEV NUMBER SHEET NUMBER
	STUCCO (in section)		ENLARGED DETAIL
	SOIL		Joist Bearing 100'-0"
	SAND		AREA "A" AREA "B"
	CONTINUOUS LUMBER		MATERIAL JOINT
	BLOCKING/SHIM		BUILDING EXPANSION JOINT
	FINISH LUMBER/ HARDWOOD		
	STEEL OR METAL		

## GENERAL NOTES

DO NOT SCALE THESE DRAWINGS. FIELD VERIFY ALL CONDITIONS, DIMENSIONS AND QUANTITIES. DIMENSIONS INDICATED ON THE PLANS ARE FOR REFERENCE ONLY AND SHOULD BE CONSIDERED APPROXIMATE.

THE CONTRACTOR SHALL VISIT THE ROOF AREA(S) PRIOR TO BID DATE AND FIELD VERIFY ALL CRITERIA.

ALL DRAINAGE FROM THESE ROOFS UTILIZE EXISTING GUTTER, DOWNSPOUT, PIPING ETC AND SHALL BE REMOVED AND REPLACED UNLESS NOTED OTHERWISE.

CONTRACTOR ACCESS TO THE ROOF AREA(S) SHALL BE COORDINATED WITH SCHOOL DISTRICT OFFICIALS.

ALL ADJACENT BUILDING / ROOF AREAS SHALL BE PROTECTED FROM CONSTRUCTION TRAFFIC AND DAMAGE DURING CONSTRUCTION.

ALL WORK SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING ROOF CONSTRUCTION AT ALL AREAS TO FOR OVERLAY, OR TO BE REMOVED AND REPLACED.

STAGING AREA SHALL BE COORDINATED WITH SCHOOL DISTRICT PERSONNEL TO STAGE ALL CONSTRUCTION VEHICLES, MATERIALS, DUMPSTERS, CRANES ETC. REGRADE AND RESEED ALL DAMAGED GRASS AREAS AND CARE SHALL BE TAKEN TO NOT DAMAGE EXISTING ASPHALT PARKING LOTS, DRIVES OR EXISTING CONCRETE. CONTRACTOR WILL BE RESPONSIBLE FOR ALL DAMAGES TO EXISTING SITE.

PROVIDE CRICKETS AT ALL REQUIRED LOCATIONS TO PROVIDE POSITIVE DRAINAGE TO NEAREST DRAIN.

ALL FLASHING / SHEET METAL DETAILS SHALL CONFORM TO THE RECOMMENDED PROCEDURES AS OUTLINED BY THE SMACNA MANUAL, LATEST EDITION.

## GENERAL DEMOLITION NOTES - ALL LOCATIONS

AT ALL AREAS SCHEDULED FOR NEW ROOFING SYSTEM, REMOVE EXISTING ROOFING SYSTEM, REMOVE AND REPLACE ALL WET INSULATION, COVERBOARD AND PATCH MEMBRANE. PREPARE ROOF FOR OVERLAY PER MANUFACTURERS WRITTEN RECOMMENDATIONS

REMOVAL OF EXISTING ROOFING SYSTEMS SHALL INCLUDE MATERIALS AT VERTICAL WALL SURFACES AND PENETRATIONS. REMOVAL TO BE DOWN TO SUBSTRATE MATERIALS.

AT REMOVAL OF EXISTING ROOFING MATERIALS: REMOVE AND REPLACE ALL EXISTING FLASHING, WOOD BLOCKING ETC. NOT SPECIFICALLY CALLED TO BE PROTECTED, REUSED OR MAINTAINED ON THIS SHEET.

DEMOLITION PLANS ARE INTENDED TO DEPICT A SCOPE AND SCHEMATIC LOCATION OF DEMOLITION WORK. ACTUAL DEMOLITION SHALL BE ACCOMPLISHED IN COORDINATION WITH NEW CONSTRUCTION WORK.

THE CONTRACTOR SHALL LOCATE AND IDENTIFY ALL ELECTRICAL, MECHANICAL, PLUMBING AND UTILITY LINES WITHIN WORK AREAS AND PROTECT THE SAME AS REQUIRED TO MAINTAIN IN GOOD OPERATING CONDITION.

UNLESS NOTED OTHERWISE, ALL ITEMS NOTED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND BE REMOVED FROM THE PROJECT SITE.

WHERE ITEMS ARE SHOWN TO BE REMOVED, CARE SHALL BE TAKEN TO PROTECT ADJACENT ITEMS SCHEDULED TO REMAIN

## ROOF HATCH LEGEND

	AREA OF NEW WORK. REFER TO SCOPES OF WORK AT EACH SCHOOL
	REMOVE & REPLACE. REFER TO SCOPES OF WORK AT EACH SCHOOL

## ABBREVIATIONS

<b>A</b>	ACT acoustical	<b>M</b>	MAS masonry
ADJ adjustable/adjacent	MATL material	MAX maximum	MECH mechanical
AFF above finish floor	MB markerboard	MEP mechanical/electrical/plumbing	MFR manufacturer
ALUM aluminum	ALT alternate	MIN minimum	MISC miscellaneous
ANOD anodized	APPROX approximate(ly)	MO masonry opening	MTD mounted
ARCH architect(ural)		MTG HT mounting height	MTL metal
		MULL mullion	
<b>B</b>	BLDG building	<b>N</b>	N north
BLKG blocking	BM beam	NIC not in contract	NO (#) number
BOT bottom of	BRG bearing	NOM nominal	NRC noise reduction coefficient
BRKT bracket	BTM bottom	NTS not to scale	
BTWN between			
<b>C</b>	CAB cabinet	<b>O</b>	OC on center
CC center to center	CEM cement(itious)	OD outside diameter	OTS open to structure
CJ corner guard	CG control joint	OPNG opening	OPP opposite
CLG ceiling	CLR clear(ance)		
CM construction manager	CMU concrete masonry unit	<b>P</b>	PAR parallel
COL column	CONC concrete	PCP portland cement plaster	PERP perpendicular
CONC concrete	CONST construction	PL property line	PLBG plumbing
CONT continuous	CONT continuous	PLYWD plywood	PNL panel
CTR center	CY cubic yard(s)	PR pair	PRFAB prefabricated
<b>D</b>	DF drinking fountain	PTD painted	PVC polyvinyl chloride
DIA diameter	DIM dimension(s)	<b>R</b>	RAD radius
DN down	DSL downspout	RD roof drain	RE refer to
DTL detail	DWG drawing	REINF reinforcing (ed)	REV reversed
<b>E</b>	EA east	REQ'D required	RFG roofing
E each	EF each face	<b>S</b>	S south
EFS exterior insulation finish system	EJ expansion joint	SCHED schedule	SECT section
ELEC electrical	EQ equal	SF square foot	SHR sheet
ELEV elevation	EQUIP equipment	SHWR shower	SIM similar
EQ equal	ETR existing to remain	SPEC specification	SQ square
EQUIP equipment	EW each way	SSTL stainless steel	STC sound transmission coefficient
EXIST existing	EXP expansion	STD standard	STL steel
EXT exterior		STRUC structure(al)	SUSP suspend(ed)
<b>F</b>	FA fire alarm	SY square yard	SYM symmetrical
FD floor drain	FND foundation	<b>T</b>	T&B top & bottom
FE fire extinguisher	FEC fire extinguisher cabinet	T&G tongue & groove	TO top of
FF finish floor	FF fire hose	TOC top of curb	TOM top of masonry
FH fire hose	FIN finish(ed)	TOS top of slab/steel	TOW top of wall
FLR floor	FIXT fixture	TS tube steel	TYP typical
FLEX flexible	FOM face of masonry	<b>U</b>	UNO unless noted otherwise
FOS face of stud	FOPC face of precast	<b>V</b>	VERT vertical
FT (') foot	FTG footing	VTR vent thru roof	
FTG footing	FV field verify	<b>W</b>	W west
<b>G</b>	GA gauge	WD wood	WDO window
GALV galvanized	GC general contractor	W/ with	W/O without
GC general contractor	GEN general	<b>Y</b>	YD yard
GL glass	GR grade	<b>SYMBOLS</b>	/ per (or by)
GR grade	GYP gypsum	& and	@ at
GYP gypsum board	GYP BD gypsum board	[ channel	⊖ centerline
<b>H</b>	HC handicapped	∅ diameter/round	± plus/minus
HD head	HDWD hardwood		
HDWR hardware	HM hollow metal		
HORIZ horizontal	HR hour		
HT height	HTVAC heating, ventilation & air conditioning		
<b>I</b>	ID inside diameter		
IN (") inch(es)	INDIV individual		
INFO information	INSUL insulation		
INT interior			
<b>J</b>	JST joist		
JT joint			
<b>K</b>	KIT kitchen		
<b>L</b>	LKR locker		
LKR locker	LT light		

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Architecture # 02000161  
Structure # 200601333

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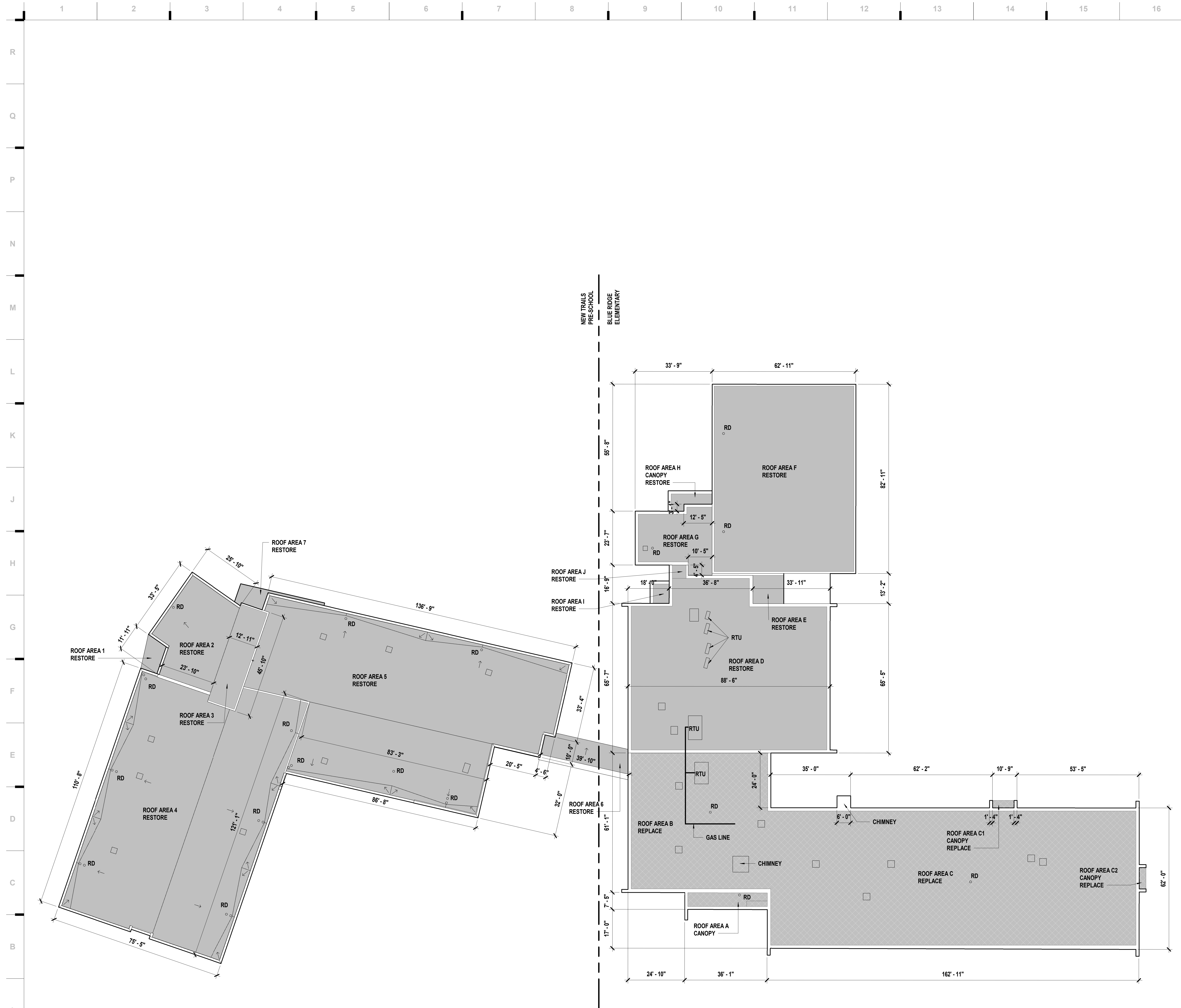
John Gilbert Brown  
A-6538

JOB NO: 18110.00  
DRAWN BY: SC  
CHECKED BY: JD  
DATE: 04.09.2019

**A001**

GENERAL ARCHITECTURAL INFORMATION

Please consider the environment before printing this.



**SHEET KEYNOTE LEGEND**

**NEW TRAILS / BLUE RIDGE  
GENERAL PROJECT SCOPE**

**ROOF AREA A:**  
EXISTING GRAVEL BUR  
RE. SPEC FOR ROOF REPLACEMENT APPLICATION 4 ASSEMBLY

**ROOF AREA B, C, G, I, G2, ROOF VENT ON B:**  
ROOFS B & I C - CONCRETE DECKS, TAPERED EPS, 1/2" FIBERBOARD, 3-4 PLY BUR WITH GRAVEL SURFACE  
CONCRETE DECK PREPARE FOR FULL ROOF SYSTEM REPLACEMENT  
RE. SPEC FOR ROOF REPLACEMENT APPLICATION 4 ASSEMBLY

**ROOF AREA D:**  
ROOF D - METAL DECK, 1/2" GYPSUM, 3" POLYISOCYANURATE, 1/2" FIBERBOARD, 3-4 PLY BUR WITH GRAVEL SURFACE  
METAL DECK TO REMAIN PREPARE FOR RESTORATION (GRAVEL BUR)  
RE. SPEC FOR ROOF RESTORATION APPLICATION 4 ASSEMBLY

**ROOF AREA E:**  
EXISTING GRAVEL BUR  
RE. SPEC FOR ROOF RESTORATION APPLICATION 4 ASSEMBLY

**ROOF AREA E, F, G, H, J**  
EXISTING FULLY ADHERED EPDM  
RE. SPEC FOR ROOF RESTORATION APPLICATION 4 ASSEMBLY

**ROOF AREA 1, 2, 3, 4, 5, 6, 7**  
EXISTING FULLY ADHERED EPDM  
RE. SPEC FOR ROOF RESTORATION APPLICATION 4 ASSEMBLY

INSTALL NEW TREATED WOOD BLOCKING.

INSTALL NEW 24GA PRE-FINISHED EDGE FLASHING, FASCIA, SCUPPERS, DOWNSPOUTS AND GLEAT WITH WEATHERTIGHT FASTENERS. PROFILE AND COLOR TO MATCH EXISTING.

INSTALL NEW COPING, GLEAT AND FASTENERS. PROFILE AND COLOR TO MATCH EXISTING.

REMOVE AND REINSTALL RIDGE, TOP CLOSURE, AND TOP RON OF EXISTING TILE ROOF AS REQUIRED TO RUN NEW ROOFING MEMBRANES UP AND OVER RIDGE AS SHOWN AND PER MANUFACTURER'S RECOMMENDATION.

REMOVE AND REPLACE ALL PITCH FANS WITH DERBIFLASH PAD FANT RESIN / FIBRESE SEAMLESS, MONOLITHIC WATERPROOF MEMBRANE. SHALL CARRY 20 YEAR WARRANTY TO MATCH ROOFING SYSTEM.

INSTALL NEW LEAD FLASHINGS AT THE VENTS THRU THE ROOF. EXTEND AS REQUIRED - 2" MINIMUM HEIGHT ABOVE FINISHED ROOF.

INSTALL NEW 24 GA PRE-FINISHED COUNTERFLASHING AND SEALANT AT EXISTING FACEBRICK. COLOR TO MATCH EXISTING.

ROOF TOP SUPPORT BLOCKS FOR GAS PIPING, PLUMBING, HVAC, CONDUIT, CABLE TRAY, AND MECHANICAL EQUIPMENT SHALL BE ROOF TOP BLOC AT 8'-0" O.C. OR APPROVED EQUAL.

THE ROOF SYSTEMS WILL CARRY THE MANUFACTURER'S 20 YEAR WARRANTY.

ALL NEW PRE-FINISHED METAL TO MATCH EXISTING.

INSTALL NEW 4'-0" X 4'-0" LEAD SUMP AT ALL ROOF DRAIN AND SCUPPER LOCATIONS

ALTHOUGH NO NET AREAS OBSERVED DURING IR SURVEY, BASE BID SHALL INCLUDE 500 SQUARE FEET OF NET INSULATION REMOVAL AND REPLACEMENT. IF NOT USED, SQUARE FOOT PRICING SHALL BE USED TO CREDIT THIS AMOUNT BACK TO OWNER BY DEDUCT CHANGE ORDER

GORE INFORMATION NOTED HERE FOR REFERENCE. EXISTING ROOF ASSEMBLY INFORMATION TO BE CONFIRMED BY CONTRACTOR PRIOR TO PROCUREMENT OF NEW MATERIAL AND INSTALLATION.

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RAYTOWN SCHOOL DISTRICT  
6808 Raytown Road, Raytown, MO 64133

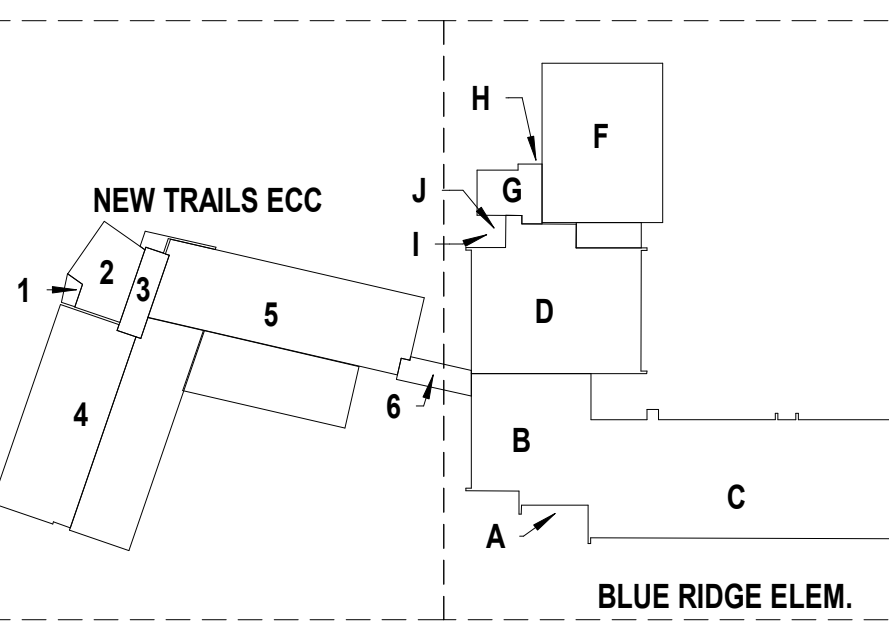
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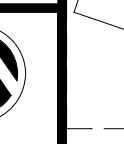
John Gilbert Brown  
A-5538

**KEY PLAN**



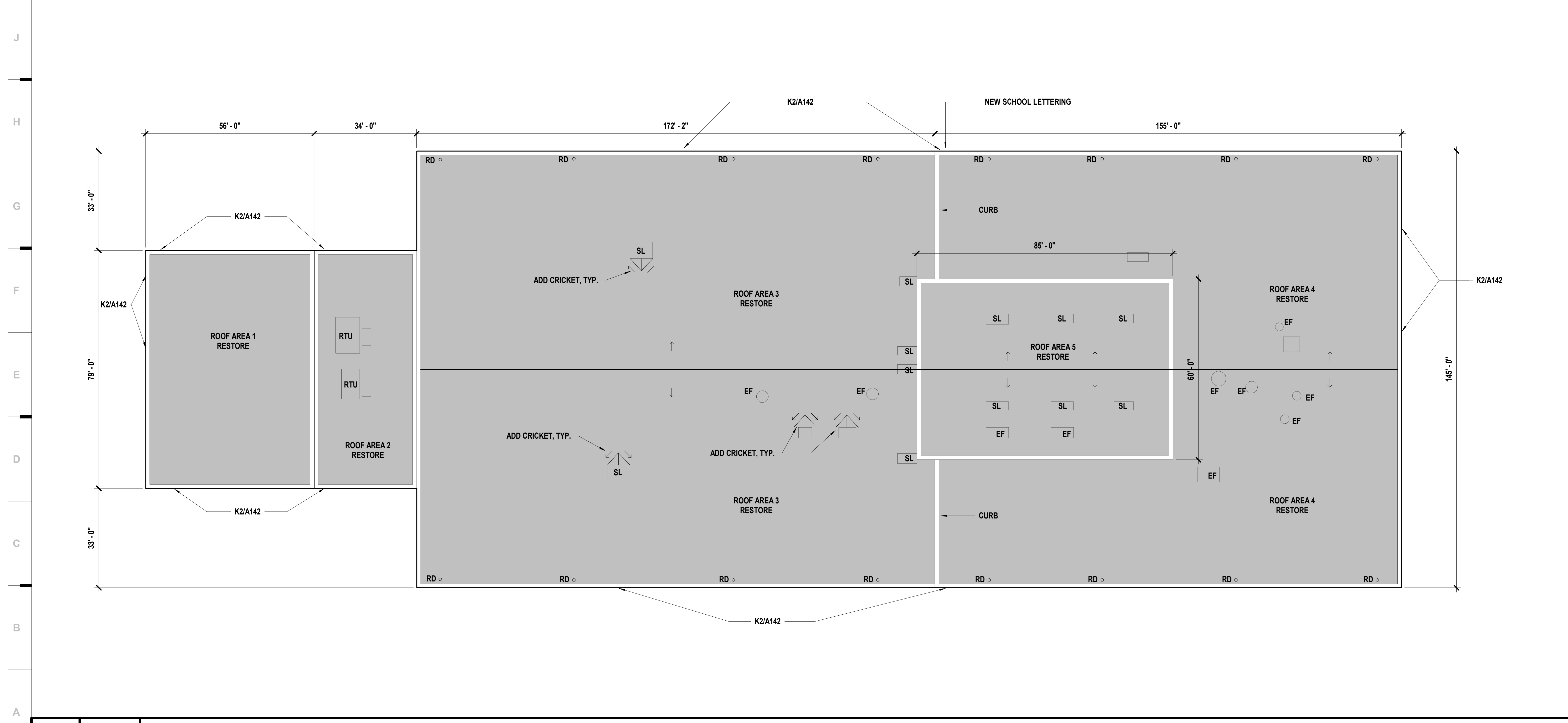
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DRAWN BY: SC  
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DATE: 04.09.2019

**A141**





**K2** Scale 1/12" = 1'-0" Existing Soffit/Facia Detail



**A1** Scale 1/16" = 1'-0" Fleetridge Elementary

**SHEET KEYNOTE LEGEND**

**FLEETRIDGE GENERAL PROJECT SCOPE**

**ROOF AREA 1, 2, 3, 4, 5:**  
 FULLY ADHERED EPDM  
 ROOF 1 - METAL DECK, 2-3/4" POLYISOCYANURATE, 1/2" FIBERBOARD, 2-PLY WITH MB CAP  
 ROOF 2 - SLOPED AREA - METAL DECK, 3" POLYISOCYANURATE, 1/2" FIBERBOARD, 2-PLY WITH MB CAP  
 ROOF 3 - FLAT AREA - METAL DECK, 2 5/8" POLYISOCYANURATE, 1/2" FERLITE, 1" FIBERBOARD, 1" FERLITE, 1/2" FERLITE, 1/2" FIBERBOARD, 2-PLY MB  
 ROOF 4, 1 & 5 - METAL DECK, 2-3/4" POLYISOCYANURATE, SMOOTH BUR, 1" FERLITE, 1/2" FIBERBOARD, 2-PLY WITH MB CAP  
 METAL DECK TO REMAIN PREPARE FOR REPLACEMENT  
 RE. SPEC FOR ROOF RESTORATION APPLICATION & ASSEMBLY

PROVIDE ALTERNATE BID TO REMOVE ALL HORIZONTAL SIDING, BELOW ROOF LINES @ ROOFS 2, 3, 4, 5.  
 INSTALL ALL NEW FACIA & SOFFIT MATERIAL.  
 INSTALL NEW TREATED WOOD BLOCKING.  
 INSTALL NEW 24GA PRE-FINISHED EDGE FLASHING, FASCIA, SCUFFERS, DOWNSPOUTS AND GLEAT WITH WEATHERTIGHT FASTENERS. PROFILE AND COLOR TO MATCH EXISTING.  
 INSTALL NEW COPING, GLEAT AND FASTENERS. PROFILE AND COLOR TO MATCH EXISTING.  
 REMOVE AND REINSTALL RIDGE, TOP CLOSURE, AND TOP ROW OF EXISTING TILE ROOF AS REQUIRED TO RUN NEW ROOFING MEMBRANES UP AND OVER RIDGE AS SHOWN AND PER MANUFACTURER'S RECOMMENDATION.  
 REMOVE AND REPLACE ALL FITCH PANS WITH DERBIFLASH AND FART RESIN / FIBRESE SEALLESS, MONOLITHIC WATERPROOF MEMBRANE. SHALL CARRY 20 YEAR WARRANTY TO MATCH ROOFING SYSTEM.  
 INSTALL NEW LEAD FLASHINGS AT THE VENTS THRU THE ROOF. EXTEND AS REQUIRED - 3" MINIMUM HEIGHT ABOVE FINISHED ROOF.  
 INSTALL NEW 24 GA PRE-FINISHED COUNTERFLASHING AND SEALANT AT EXISTING FACEBRICK. COLOR TO MATCH EXISTING.  
 ROOF TOP SUPPORT BLOCKS FOR GAS PIPING, PLUMBING, HVAC, CONDUIT, CABLE TRAY, AND MECHANICAL EQUIPMENT SHALL BE ROOF TOP BLOCK AT 8'-0" O.C. OR APPROVED EQUAL.  
 THE ROOF SYSTEMS WILL CARRY THE MANUFACTURER'S 20 YEAR WARRANTY.  
 ALL NEW PREFINISHED METAL TO MATCH EXISTING.  
 INSTALL NEW 4'-0" X 4'-0" LEAD SUMP AT ALL ROOF DRAIN AND SCUPPER LOCATIONS.  
 ALTHOUGH NO PEST AREAS OBSERVED DURING IR SURVEY, BASE BID SHALL INCLUDE 500 SQUARE FEET OF NET INSULATION REMOVAL AND REPLACEMENT. IF NOT USED, SQUARE FOOT PRICING SHALL BE USED TO CREDIT THIS AMOUNT BACK TO OWNER BY DEDUCT CHANGE ORDER.  
 CORE INFORMATION NOTED HERE FOR REFERENCE. EXISTING ROOF ASSEMBLY INFORMATION TO BE CONFIRMED BY CONTRACTOR PRIOR TO PROCUREMENT OF NEW MATERIAL AND INSTALLATION.

**KEY PLAN**

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STATE OF MISSOURI  
 JOHN GILBERT BROWN  
 REGISTERED ARCHITECT  
 A-6538  
 4-9-19

**KEY PLAN**

**A142**

FLEETRIDGE ELEMENTARY



**SHEET KEYNOTE LEGEND**

**NORFLEET GENERAL PROJECT SCOPE**

**ROOF AREA A, E, F, G:**  
 ROOF A - METAL DECK, 5/8" GYPSUM, 2.5" POLYISOCYANURATE, 1/2" FIBERBOARD, 3-4 PLY BUR WITH GRAVEL SURFACE  
 ROOF E & F - METAL DECKS, 2.5" POLYISOCYANURATE, 1/2" FIBERBOARD, 3-4 PLY BUR WITH GRAVEL SURFACE  
 ROOF G - METAL DECK, 5/8" GYPSUM, 2.5" POLYISOCYANURATE, 1/2" FIBERBOARD, 3-4 PLY BUR WITH GRAVEL SURFACE

**EXISTING ROOF DECKS TO REMAIN PREPARE FOR RESTORATION**  
 RE: SPEC FOR RESTORATION AND/OR REPLACEMENT

**ROOF AREA B, C, D:**  
 GRAVEL SURFACE BUR  
 EXISTING ROOF DECKS TO REMAIN PREPARE FOR ROOF MAINTENANCE  
 RE: SPEC FOR ROOF MAINTENANCE

**INSTALL NEW TREATED WOOD BLOCKING.**  
 INSTALL NEW 24GA PRE-FINISHED EDGE FLASHING, FASCIA, SCUFFERS, DOWNSPOUTS AND GLEAT WITH WEATHERTIGHT FASTENERS. PROFILE AND COLOR TO MATCH EXISTING.  
 INSTALL NEW COFFING, GLEAT AND FASTENERS. PROFILE AND COLOR TO MATCH EXISTING.

**REMOVE AND REINSTALL RIDGE, TOP CLOSURE, AND TOP ROY OF EXISTING TILE ROOF AS REQUIRED TO RUN NEW ROOFING MEMBRANES UP AND OVER RIDGE AS SHOWN AND PER MANUFACTURER'S RECOMMENDATION.**  
 REMOVE AND REPLACE ALL PITCH PANS WITH DEREFLASH TWO PART RESIN / FLEECE SEAMLESS, MONOLITHIC WATERPROOF MEMBRANE. SHALL CARRY 20 YEAR WARRANTY TO MATCH ROOFING SYSTEM.

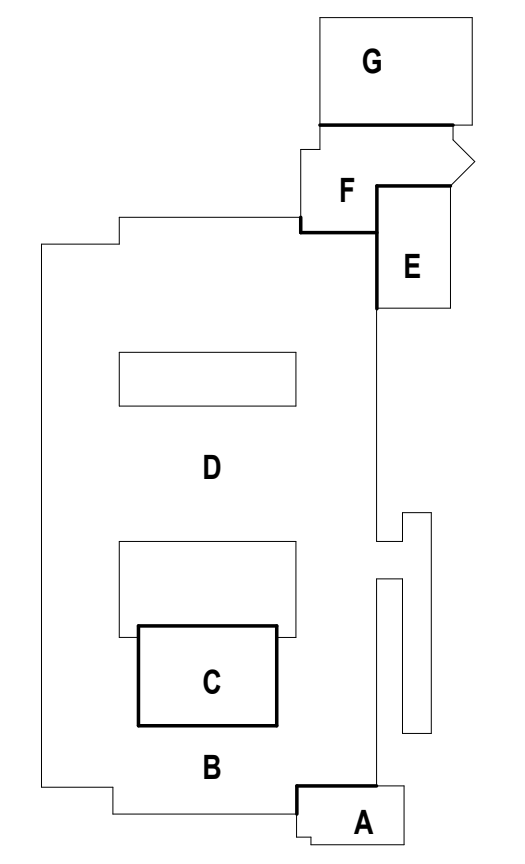
**INSTALL NEW LEAD FLASHINGS AT THE VENTS THRU THE ROOF. EXTEND AS REQUIRED - 3" MINIMUM HEIGHT ABOVE FINISHED ROOF.**  
 INSTALL NEW 24 GA PRE-FINISHED COUNTERFLASHING AND SEALANT AT EXISTING FACEBRICK. COLOR TO MATCH EXISTING.

**ROOF TOP SUPPORT BLOCKS FOR GAS PIPING, PLUMBING, HYAC, CONDUIT, CABLE TRAY, AND MECHANICAL EQUIPMENT SHALL BE ROOF TOP BLOC AT 8'-0" O.C. OR APPROVED EQUAL.**  
 THE ROOF SYSTEMS WILL CARRY THE MANUFACTURER'S 20 YEAR WARRANTY.  
 ALL NEW PREFINISHED METAL TO MATCH EXISTING.  
 INSTALL NEW 4'-0" X 4'-0" LEAD BUMP AT ALL ROOF DRAIN AND SCUPPER LOCATIONS.

**ALTHOUGH NO NET AREAS OBSERVED DURING IR SURVEY, BASE BID SHALL INCLUDE 500 SQUARE FEET OF NET INSULATION REMOVAL AND REPLACEMENT. IF NOT USED, SQUARE FOOT PRICING SHALL BE USED TO CREDIT THIS AMOUNT BACK TO OWNER BY DEDUCT CHANGE ORDER.**

**CORE INFORMATION NOTED HERE FOR REFERENCE. EXISTING ROOF ASSEMBLY INFORMATION TO BE CONFIRMED BY CONTRACTOR PRIOR TO PROCUREMENT OF NEW MATERIAL AND INSTALLATION.**

**KEY PLAN**



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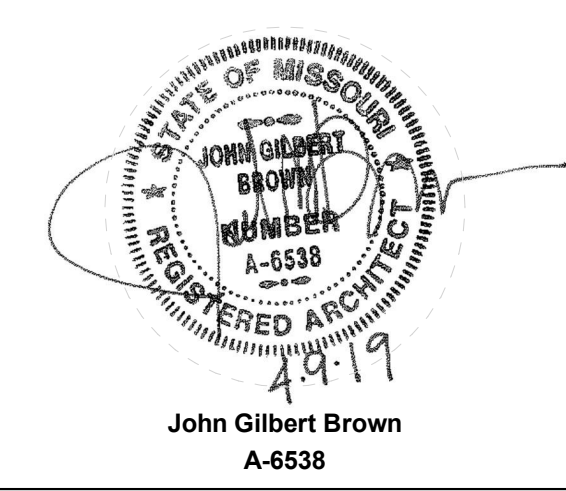
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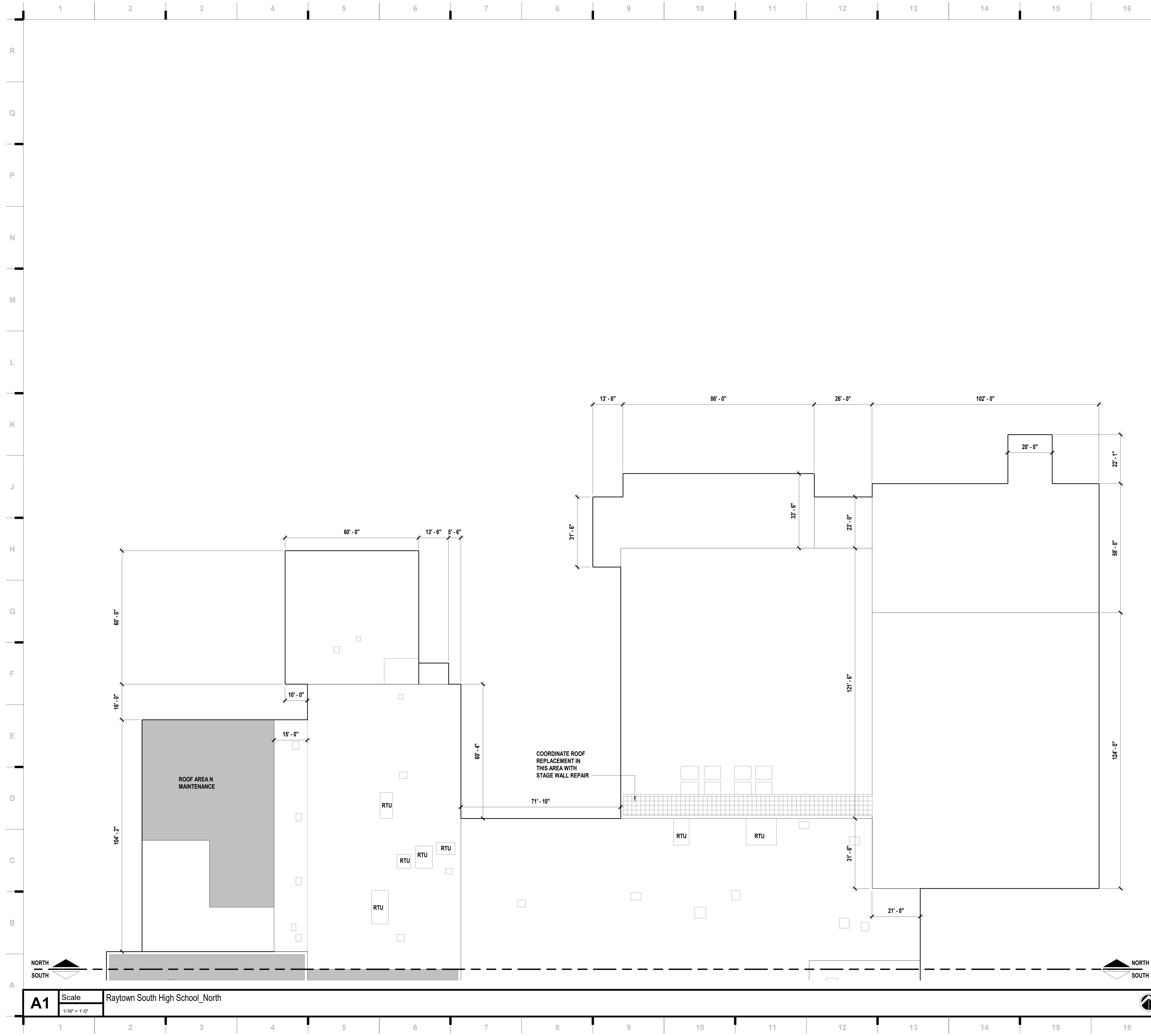
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**A143**

**A1** Scale 1/16" = 1'-0" Norfleet Elementary



**SHEET KEYNOTE LEGEND**

**RAYTOWN SOUTH HIGH SCHOOL  
GENERAL PROJECT SCOPE**

**ROOF AREA M1, M2, P:**  
EXISTING GYPSUM DECK, NAILED BASE, TAPERED EPS, 1/2" FIBERBOARD, 3-4 PLY BUR WITH GRAVEL SURFACE (GRAVEL SURFACE BUR)  
GYPSUM DECK TO REMAIN PREPARE FOR RESTORATION  
RE: SPEC FOR RESTORATION APPLICATION 4 ASSEMBLY

**ROOF AREA N:**  
EXISTING GRAVEL SURFACE BUR  
RE: SPEC FOR ROOF MAINTENANCE

INSTALL NEW TREATED WOOD BLOCKING.  
INSTALL NEW 245A PRE-FINISHED EDGE FLASHING, FASCIA, SCUPPERS, DOWNPOUTS AND CLEAT WITH WEATHERTIGHT FASTENERS. PROFILE AND COLOR TO MATCH EXISTING.  
INSTALL NEW COPING, CLEAT AND FASTENERS. PROFILE AND COLOR TO MATCH EXISTING.

REMOVE AND REINSTALL RIDGE TOP CLOSURE AND TOP ROOF OF EXISTING TILE ROOF AS REQUIRED TO RUN NEW ROOFING MEMBRANES UP AND OVER RIDGE AS SHOWN AND PER MANUFACTURER'S RECOMMENDATION.  
REMOVE AND REPLACE ALL PITCH PANS WITH DERBIFLASH TWO PART RESIN / FLEECE SEAMLESS, MONOLITHIC WATERPROOF MEMBRANE. SHALL CARRY 20 YEAR WARRANTY TO MATCH ROOFING SYSTEM.

INSTALL NEW LEAD FLASHINGS AT THE VENTS THRU THE ROOF. EXTEND AS REQUIRED - 2' MINIMUM HEIGHT ABOVE FINISHED ROOF.

INSTALL NEW 24 GA PRE-FINISHED COUNTERFLASHING AND SEALANT AT EXISTING FACEBRICK. COLOR TO MATCH EXISTING.

ROOF TOP SUPPORT BLOCKS FOR GAS PIPING, PLUMBING, HVAC, CONDUIT, CABLE TRAY, AND MECHANICAL EQUIPMENT SHALL BE ROOF TOP BLOC AT 8'-0" O.C. OR APPROVED EQUAL.  
THE ROOF SYSTEMS WILL CARRY THE MANUFACTURER'S 20 YEAR WARRANTY.

ALL NEW PREFINISHED METAL TO MATCH EXISTING.  
INSTALL NEW 4'-0" X 4'-0" LEAD SUMP AT ALL ROOF DRAIN AND SCUPPER LOCATIONS.

ALTHOUGH NO WET AREAS OBSERVED DURING IR SURVEY, BASE BID SHALL INCLUDE 500 SQUARE FEET OF NET INSULATION REMOVAL AND REPLACEMENT. IF NOT USED, SQUARE FOOT PRICING SHALL BE USED TO CREDIT THIS AMOUNT BACK TO OWNER BY DEDUCT CHANGE ORDER.

CORE INFORMATION NOTED HERE FOR REFERENCE. EXISTING ROOF ASSEMBLY INFORMATION TO BE CONFIRMED BY CONTRACTOR PRIOR TO PROCUREMENT OF NEW MATERIAL AND INSTALLATION.

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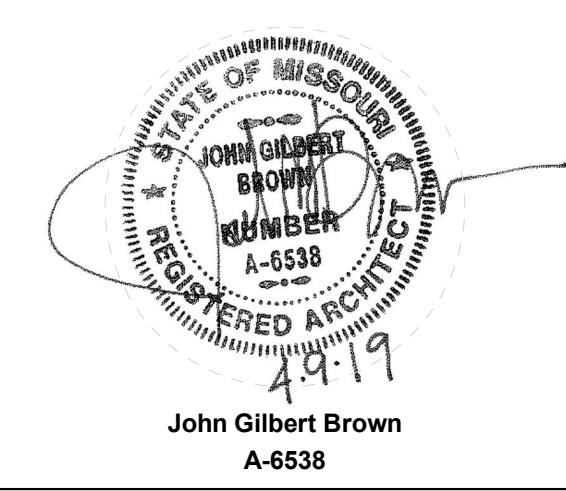
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**RAYTOWN SD 2019 ROOF IMPROVEMENTS  
RAYTOWN SCHOOL DISTRICT  
6608 Raytown Road, Raytown, MO 64133**

100% CONSTRUCTION DOCUMENTS

REVISIONS:

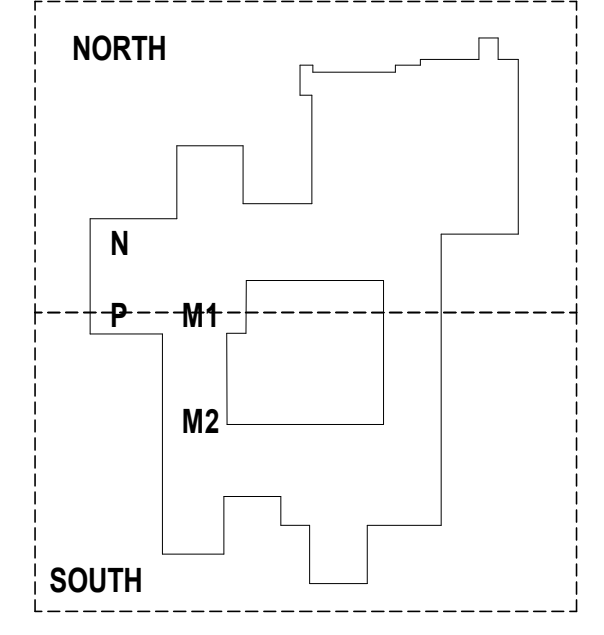
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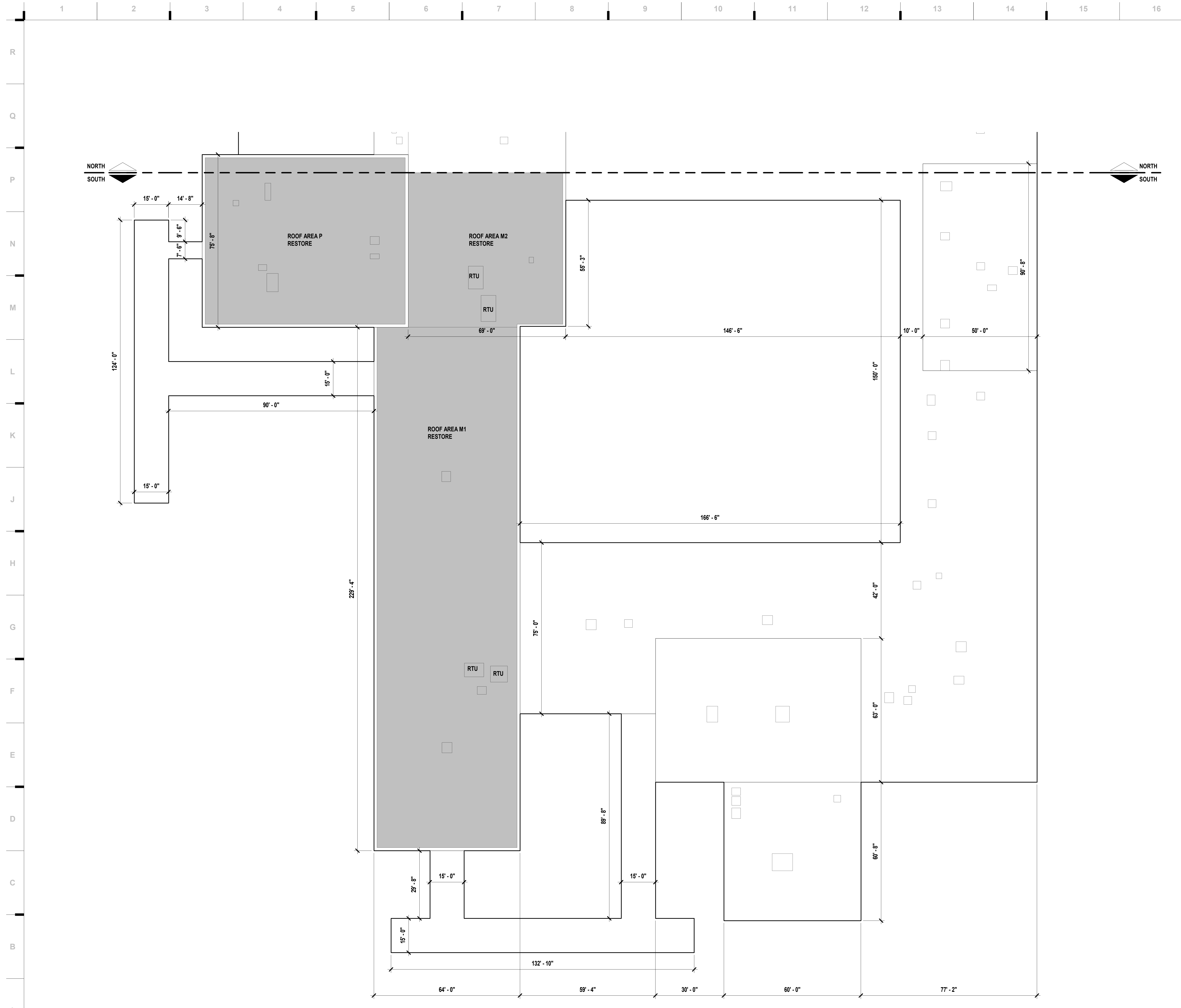
JOB NO: 18110.00  
DRAWN BY: SC  
CHECKED BY: JD  
DATE: 04.09.2019

**A144**

**KEY PLAN**



**A1** Scale Raytown South High School\_North  
1/16" = 1'-0"



**SHEET KEYNOTE LEGEND**

**RAYTOWN SOUTH HIGH SCHOOL  
GENERAL PROJECT SCOPE**

ROOF AREA M1, M2, P:  
EXISTING GYPSUM DECK, NAILED BASE, TAPERED EPS, 1/2" FIBERBOARD, 5-4 PLY BUR WITH GRAVEL SURFACE (GRAVEL SURFACE BUR).  
GYPSUM DECK TO REMAIN PREPARE FOR RESTORATION  
RE: SPEC FOR RESTORATION APPLICATION & ASSEMBLY

ROOF AREA N:  
EXISTING GRAVEL SURFACE BUR  
RE: SPEC FOR ROOF MAINTENANCE

INSTALL NEW TREATED WOOD BLOCKING.  
INSTALL NEW 2x4s PRE-FINISHED EDGE FLASHING, FASCIA, SCUPPERS, DOWNSPOUTS AND GLEAT WITH WEATHERTIGHT FASTENERS. PROFILE AND COLOR TO MATCH EXISTING.  
INSTALL NEW COPING, GLEAT AND FASTENERS. PROFILE AND COLOR TO MATCH EXISTING.

REMOVE AND REINSTALL RIDGE, TOP CLOSURE, AND TOP ROW OF EXISTING TILE ROOF AS REQUIRED TO RUN NEW ROOFING MEMBRANES UP AND OVER RIDGE AS SHOWN AND PER MANUFACTURER'S RECOMMENDATION.

REMOVE AND REPLACE ALL FITCH PANS WITH DEREFASH TWO PART RESIN / FLEECE SEAMLESS, MONOLITHIC WATERPROOF MEMBRANE. SHALL CARRY 20 YEAR WARRANTY TO MATCH ROOFING SYSTEM.

INSTALL NEW LEAD FLASHINGS AT THE VENTS THRU THE ROOF. EXTEND AS REQUIRED - 3" MINIMUM HEIGHT ABOVE FINISHED ROOF.

INSTALL NEW 24 GA PRE-FINISHED COUNTERFLASHING AND SEALANT AT EXISTING FACEBRICK. COLOR TO MATCH EXISTING.

ROOF TOP SUPPORT BLOCKS FOR GAS FIRING, PLUMBING, HVAC, CONDUIT, CABLE TRAY, AND MECHANICAL EQUIPMENT SHALL BE ROOF TOP BLOX AT 3'-0" O.C. OR APPROVED EQUAL.

THE ROOF SYSTEMS WILL CARRY THE MANUFACTURER'S 20 YEAR WARRANTY.

ALL NEW PREFINISHED METAL TO MATCH EXISTING.  
INSTALL NEW 4'-0" X 4'-0" LEAD SUMP AT ALL ROOF DRAIN AND SCUPPER LOCATIONS.

ALTHOUGH NO NET AREAS OBSERVED DURING IR SURVEY, BASE BID SHALL INCLUDE 500 SQUARE FEET OF NET INSULATION REMOVAL AND REPLACEMENT. IF NOT USED, SQUARE FOOT PRICING SHALL BE USED TO CREDIT THIS AMOUNT BACK TO OWNER BY DEDUCT CHANGE ORDER.

CORE INFORMATION NOTED HERE FOR REFERENCE. EXISTING ROOF ASSEMBLY INFORMATION TO BE CONFIRMED BY CONTRACTOR PRIOR TO PROCUREMENT OF NEW MATERIAL AND INSTALLATION.

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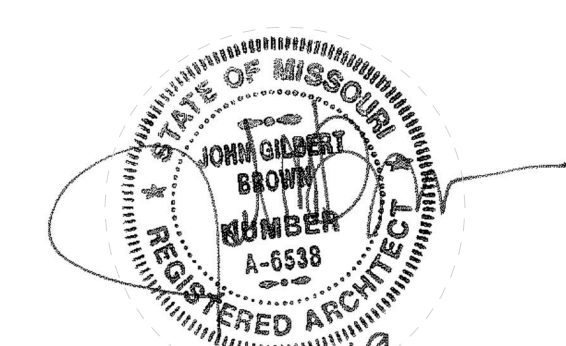
**RAYTOWN SD 2019 ROOF IMPROVEMENTS  
RAYTOWN SCHOOL DISTRICT**

6608 Raytown Road, Raytown, MO 64133

100% CONSTRUCTION  
DOCUMENTS

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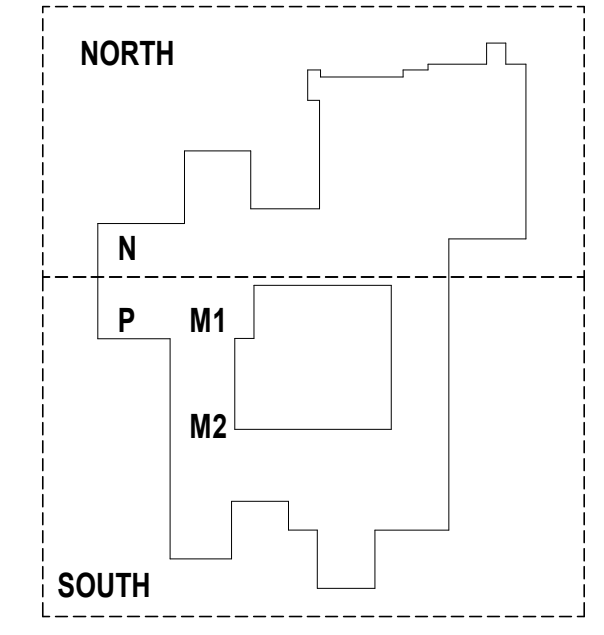


John Gilbert Brown  
A-6538

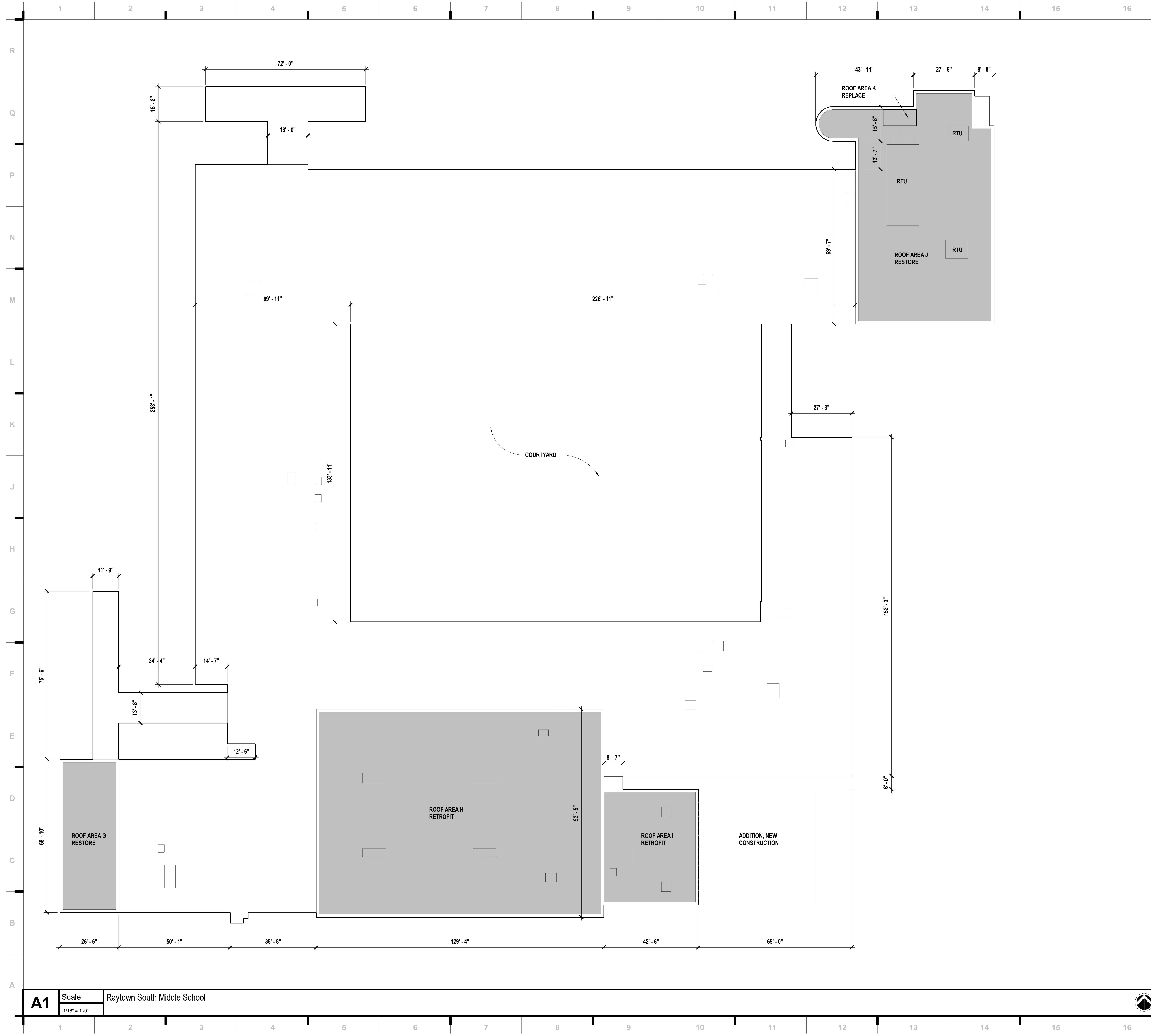
JOB NO: 18110.00  
DRAWN BY: SC  
CHECKED BY: JD  
DATE: 04.09.2019

**A145**

**KEY PLAN**



**A1** Scale 1/16" = 1'-0" Raytown South High School\_South



**SHEET KEYNOTE LEGEND**

**RAYTOWN SOUTH MIDDLE SCHOOL  
GENERAL PROJECT SCOPE**

**ROOF AREA G:**  
EXISTING METAL DECK, 5/8" GYPSUM, 2-LAYERS OF 1.5" POLYISOCYANURATE, 1/2" FIBERBOARD, 2-PLY WITH MB CAP (GRANULAR SURFACE MB)  
RE: SPEC FOR RESTORATION APPLICATION & ASSEMBLY METAL DECK TO REMAIN PREPARE FOR RESTORATION

**ROOF AREA H:**  
EXISTING METAL DECK, VAPOR BARRIER, 2" POLYISOCYANURATE, 1/2" FERLITE, 2-PLY WITH MB CAP (GRANULAR SURFACE MB)  
RE: SPEC FOR RETROFIT APPLICATION & ASSEMBLY METAL DECK TO REMAIN PREPARE FOR RETROFIT

**ROOF AREA I:**  
EXISTING METAL DECK, 3" POLYISOCYANURATE, 1/2" FERLITE, 2-PLY WITH MB CAP (GRANULAR SURFACE BUR)  
RE: SPEC FOR RETROFIT APPLICATION & ASSEMBLY METAL DECK TO REMAIN PREPARE FOR RETROFIT

**ROOF AREA J:**  
EXISTING CONCRETE DECK, TAPERED PHENOLIC, 1" FERLITE, 1/2" FIBERBOARD, 3-4 FLY BUR WITH GRAVEL SURFACE (GRANULAR SURFACE BUR)  
RE: SPEC FOR RESTORATION APPLICATION & ASSEMBLY CONCRETE DECK TO REMAIN PREPARE FOR RESTORATION

**ROOF AREA K:**  
EXISTING METAL DECK, 2" PHENOLIC, 1/2" FERLITE, 3-4 FLY BUR WITH GRAVEL SURFACE (GRANULAR SURFACE BUR)  
RE: SPEC FOR ROOF REPLACEMENT APPLICATION & ASSEMBLY METAL DECK TO REMAIN PREPARE FOR ROOF REPLACEMENT

INSTALL NEW TREATED WOOD BLOCKING.

INSTALL NEW 2x4s PRE-FINISHED EDGE FLASHING, FASCIA, SCUPPERS, DOWNSPUTS AND CLEAT WITH WEATHER-TIGHT FASTENERS. PROFILE AND COLOR TO MATCH EXISTING.

INSTALL NEW COPING, CLEAT AND FASTENERS. PROFILE AND COLOR TO MATCH EXISTING.

REMOVE AND REINSTALL RIDGE, TOP CLOSURE, AND TOP ROW OF EXISTING TILE ROOF AS REQUIRED TO RUN NEW ROOFING MEMBRANES UP AND OVER RIDGE AS SHOWN AND PER MANUFACTURER'S RECOMMENDATION.

REMOVE AND REPLACE ALL PITCH PANS WITH DERRIFLASH TPO PART REBN / FLEECE SEAMLESS, MONOLITHIC WATERPROOF MEMBRANE. SHALL CARRY 20 YEAR WARRANTY TO MATCH ROOFING SYSTEM.

INSTALL NEW LEAD FLASHINGS AT THE VENTS THRU THE ROOF. EXTEND AS REQUIRED - 2' MINIMUM HEIGHT ABOVE FINISHED ROOF.

INSTALL NEW 24 GA PRE-FINISHED COUNTERFLASHING AND SEALANT AT EXISTING FACEBRICK. COLOR TO MATCH EXISTING.

ROOF TOP SUPPORT BLOCKS FOR GAS PIPING, PLUMBING, HVAC, CONDUIT, CABLE TRAY AND MECHANICAL EQUIPMENT SHALL BE ROOF TOP BLOC AT 8'-0" O.C. OR APPROVED EQUAL.

THE ROOF SYSTEMS WILL CARRY THE MANUFACTURER'S 20 YEAR WARRANTY.

ALL NEW PRE-FINISHED METAL TO MATCH EXISTING.

INSTALL NEW 4'-0" X 4'-0" LEAD SUMP AT ALL ROOF DRAIN AND SCUPPER LOCATIONS.

ALTHOUGH NO NET AREAS OBSERVED DURING IR SURVEY, BASE BID SHALL INCLUDE 500 SQUARE FEET OF NET INSULATION REMOVAL AND REPLACEMENT. IF NOT USED, SQUARE FOOT PRICING SHALL BE USED TO CREDIT THIS AMOUNT BACK TO OWNER BY DEPUCT CHANGE ORDER.

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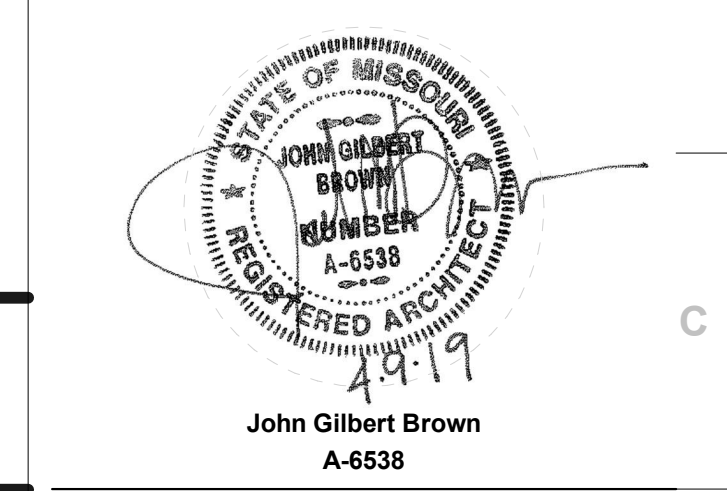
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Holls + Miller Architects  
Missouri State Certificate of Authority  
Architecture # 00000101  
Structure # 200603333

**RAYTOWN SD 2019 ROOF IMPROVEMENTS**  
RAYTOWN SCHOOL DISTRICT  
6608 Raytown Road, Raytown, MO 64133

REVISIONS:

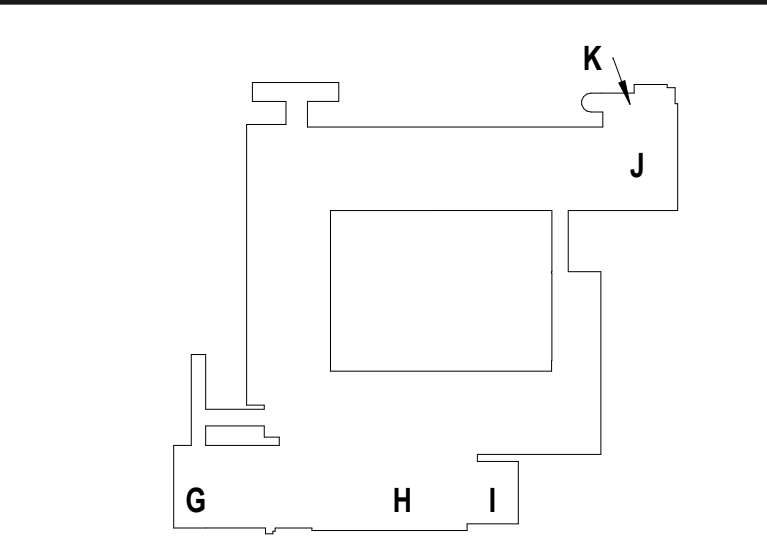
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JOB NO: 18110.00  
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DATE: 04.09.2019

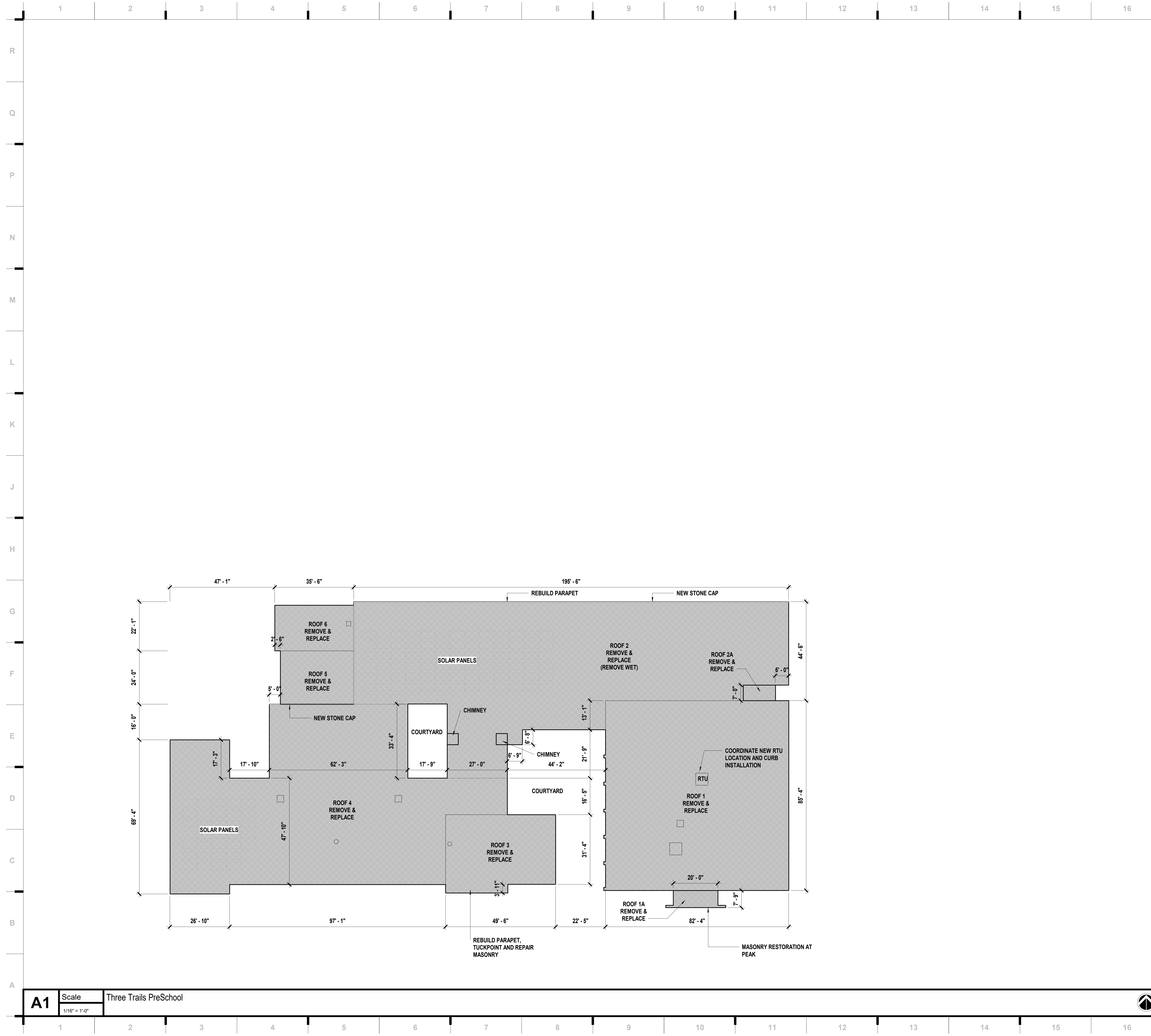
**A146**

**KEY PLAN**



**A1** Scale Raytown South Middle School  
1/16" = 1'-0"





**SHEET KEYNOTE LEGEND**

**THREE TRAILS PRESCHOOL  
GENERAL PROJECT SCOPE**

**ROOF AREA 1, 1A, 2, 2A, 3, 4:**  
EXISTING (GRAVEL SURFACE BUR) GYPSUM DECK, BASE SHEET, TAPERED EPS, 1/2" FIBERBOARD, 2 FLY WITH ME CAP  
RE. SPEC FOR ROOF REPLACEMENT APPLICATION 4 ASSEMBLY GYPSUM DECK TO REMAIN PREPARE FOR REPLACEMENT

**ROOF AREA 5, 6:**  
EXISTING (GRAVEL SURFACE BUR) GYPSUM DECK, TAPERED EPS, 1/2" FIBERBOARD, 3 FLY BUR, TAPERED EPS 1/2" FIBERBOARD, 2-FLY WITH ME CAP  
RE. SPEC FOR ROOF REPLACEMENT APPLICATION 4 ASSEMBLY GYPSUM DECK TO REMAIN PREPARE FOR REPLACEMENT

INSTALL NEW TREATED WOOD BLOCKING.  
INSTALL NEW 24GA PRE-FINISHED EDGE FLASHING, FASCIA, SCUFFERS, DOWNSPOUTS AND GLEAT WITH WEATHERTIGHT FASTENERS. PROFILE AND COLOR TO MATCH EXISTING  
INSTALL NEW COPING, GLEAT AND FASTENERS. PROFILE AND COLOR TO MATCH EXISTING.

REMOVE AND REINSTALL RIDGE, TOP CLOSURE, AND TOP ROW OF EXISTING TILE ROOF AS REQUIRED TO RUN NEW ROOFING MEMBRANES UP AND OVER RIDGE AS SHOWN AND PER MANUFACTURER'S RECOMMENDATION.  
REMOVE AND REPLACE ALL FITCH FANS WITH DEREFLASH TWO PART RESIN / FLEECE SEAMLESS MONOLITHIC WATERPROOF MEMBRANE. SHALL CARRY 20 YEAR WARRANTY TO MATCH ROOFING SYSTEM

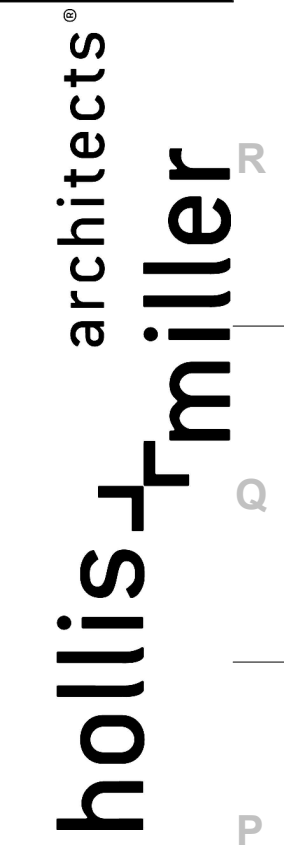
INSTALL NEW LEAD FLASHINGS AT THE VENTS THRU THE ROOF. EXTEND AS REQUIRED - 6" MINIMUM HEIGHT ABOVE FINISHED ROOF.  
INSTALL NEW 24 GA PRE-FINISHED COUNTERFLASHING AND SEALANT AT EXISTING FACEBRICK. COLOR TO MATCH EXISTING.

ROOF TOP SUPPORT BLOCKS FOR GAS PIPING, PLUMBING, HVAC, CONDUIT, CABLE TRAY, AND MECHANICAL EQUIPMENT SHALL BE ROOF TOP BLOCK AT 8'-0" O.C. OR APPROVED EQUAL.  
THE ROOF SYSTEMS WILL CARRY THE MANUFACTURER'S 20 YEAR WARRANTY.  
ALL NEW PREFINISHED METAL TO MATCH EXISTING.

INSTALL NEW 4'-0" X 4'-0" LEAD SUMP AT ALL ROOF DRAIN AND SCUPPER LOCATIONS  
ALTHOUGH NO NET AREAS OBSERVED DURING IR SURVEY, BASE BID SHALL INCLUDE 500 SQUARE FEET OF NET INSULATION REMOVAL AND REPLACEMENT. IF NOT USED, SQUARE FOOT PRICING SHALL BE USED TO CREDIT THIS AMOUNT BACK TO OWNER BY DEDUCT CHANGE ORDER.

SOLAR PANEL REMOVAL AND RE-INSTALLATION TO BE BY OWNER.  
MORE INFORMATION NOTED HERE FOR REFERENCE. EXISTING ROOF ASSEMBLY INFORMATION TO BE CONFIRMED BY CONTRACTOR PRIOR TO PROCUREMENT OF NEW MATERIAL AND INSTALLATION.

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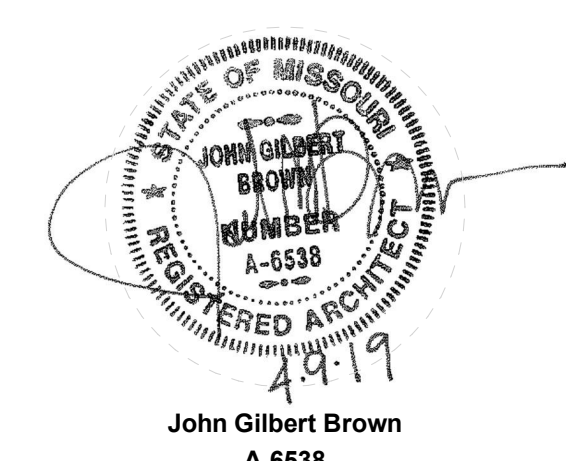


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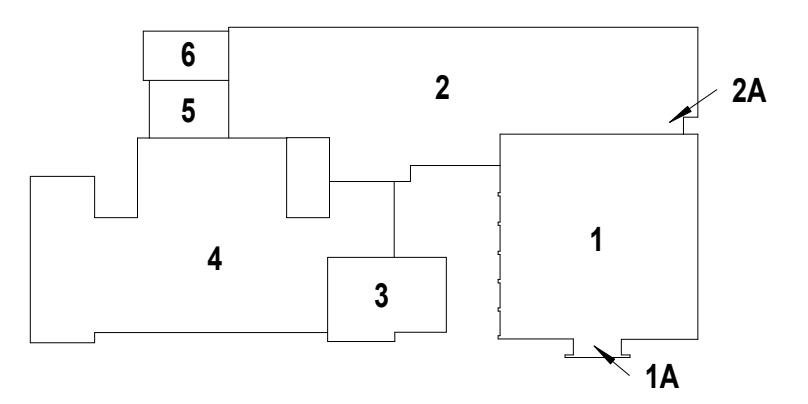
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**KEY PLAN**



JOB NO: 18110.00  
DRAWN BY: SC  
CHECKED BY: JD  
DATE: 04.09.2019

**A147**

**A1** Scale Three Trails Preschool  
1/16" = 1'-0"